

ADDENDUM NO. 1  
June 28, 2012

PART 1 - GENERAL

1.1 PROJECT

- A. Whaley House Renovation Exterior Stabilization

1.2 ARCHITECT

- A. Stubbs Muldrow Herin architects, Inc.(SMHa)  
400 Hibben Street, Mt. Pleasant, SC 29464  
(843) 881-7642

1.3 RELATED DOCUMENTS

- A. This Addendum consists of 16 double-sided pages. (14 sheets, 1 sketches, 1 drawings).
- B. To Prime Bidders of Record:
  - 1. This addendum forms a part of the Contract Documents and modifies the original Project Manual and Drawings dated June 08, 2012. Acknowledge receipt of this addendum on the Bid Form. Failure to do so may cause a bid to be rejected as unresponsive as outlined in the Instructions to Bidders.

1.4 PRE-BID CONFERENCE MINUTES

- 2. The attached sign-in sheets lists attendees.
- 3. The attached Meeting Minutes are from the non-mandatory June 26<sup>th</sup> pre-bid meeting.

PART 2 - ADDENDUM ITEMS

2.1 GENERAL REQUIREMENTS:

- A. The following changes/clarifications shall be made to the Project Manual:
  - 1. Acceptance of Alternate #1 will result in an increase in project time of 30 days.

2.2 ARCHITECTURAL:

- A. The following changes/clarifications shall be made to the Project Manual:

1. Section 012200, page 3, paragraph "F". Change detail reference to read: "L9/A301." Change also, same reference at Bid Form, BF-1C, Unit Prices to be Included in Base Bid.
2. Section 012200, page 3, paragraph "G". Change detail reference to read: "I8/A301." Change also, same reference at Bid Form, BF-1C, Unit Prices to be Included in Base Bid.
3. Section 012200, page 4, Replace paragraph "O" with new paragraph to read:  
 "Unit Price No. 15 – Historic Window Treatment – Replace Curved Window Unit:"  
 "1. Description: Removal and Replacement of complete double hung window unit approximately 3 feet wide x 6 feet tall. Price is inclusive of temporary protection and painting as specified."  
 "2. Unit of Measurement: Each."  
 Add also, same paragraph on Bid Form, BF-1C, Unit Prices to be Included in Base Bid.
4. Section 028300, page 1, paragraph 1.1.A. Delete last sentence reading: "A copy of this report has been attached as part of this specification."
5. Section 028300, page 13, paragraph 3.6.B. Revise to read: "Where the wood in window sashes is found to be too damaged for effective reglazing, the damaged sashes are to be replicated and replaced."
6. Section 062013, page 4, paragraph 2.5. Add paragraph "B" to read:  
 B. CDX Plywood Wall Sheathing
  1. Span rating: not less than 32/16.
  2. Nominal thickness: not less than ½".
  3. Species: Doug Fir, Southern Yellow Pine.
  4. Exposure 1
7. Section 072500, page 1. Delete paragraph 1.2.B.
8. Sections 073126 and 075423, paragraph 1.8. Add paragraph to read: "Contractor is to be aware that existing roofing materials associated with the subject structure have not been analyzed for asbestos content due to the destructive nature of bulk sample collection. Therefore, all existing roofing materials (i.e. felts, mastics and flashing) have been assumed positive for asbestos content and shall be handled accordingly. Contractor and workers shall be trained and licensed to perform all work tasks associated with repairs to the existing roof as described herein on asbestos-containing roofing materials."
9. Section 073126, page 2, paragraph 1.6.A. The term "recent" shall be defined as a span of the last ten (10) years.
10. Salvaged slates conforming to the specifications, with matching color and condition as approved by Architect are acceptable for use for replacement use with the acceptance of Alternate #1.
11. Section 080152, page 3, paragraph 1.9.A.7.a. Revise sentence to read: "Remove paint according to Section 028300."
12. Section 090190, page 6, paragraph 3.9.A.2. Revise sentence to read: "Repair substrate defects."

B. The following changes/clarifications shall be made to the drawings:

1. All sheets, "PT" refers to pressure treated wood and should read: "TRTD".
2. Assume treated 2x trough beneath all integral gutters comprised of a bottom and two sides. Assume also 10% shall be replaced.
3. Sheet A101, Renovation Note 4, Wood door refinishing shall include: Prior to work match existing stain color for final coating. Remove doors from opening and remove existing hardware, saving it for reuse. Sand flat areas of the doors to remove old varnish and flaked wood. Quick sanding should be with 80-grit paper not damaging the integrity of the wood. Finer sanding should be done with 100 and 120-grit paper. Do not use paper finer than 120-grit. Hand scrape all moldings, pulling the scraper with the grain of the wood. Hand sand profiles. Seal door edges and rehang before finish coating is applied. Apply two coats of varnish topcoat.
4. Sheet A101, A121, A201, A202, A203, A204, "Alternates No. 2". Change to read: "Base bid shall include Level I scrape, prime and paint of existing components described below. Alternate shall be removal of existing porte cochere at east elevation and removal of existing door covering, stair and doors at southeast corner. At porte cochere, alternate to include all demolition including sub-grade masonry and foundations, patching of siding and rework of roof to create finished eave condition at roof covering stair (see detail A3/A122). At door covering, alternate shall include infill of voided exterior wall to match adjacent construction and removal of all related construction including sub-grade masonry and foundations".
5. Replace Sheet A121 in its entirety.
6. Sheet A122, detail E3. Add note at Base Bid Condition to read: "New copper gutter. Install continuous anchor cleat for secure attachment at drip edge on fascia."
7. Sheet A122, detail M6. Revise note "Copper flashing sleeve..." to read: "Lead flashing sleeve..."
8. Sheet A122, General Note "H". Revise note to read: "Reference specifications for type of copper to be used at each application".
9. Sheet A201, A202, A203, A204, General Notes. Add note "E" to read: "All replacement trim, trim assemblies and siding shall be pressure treated wood and shall be back-primed." Add note "F" to read: "Downspouts not shown for clarity, see roof plan for locations."
10. Sheet A201, A203, A204, Window Note 3, Sheet A202, Note 2, revise to read: "Replace or repair one rotten sash. Replicate existing sizes and profiles exactly. Salvage intact glass for reuse. Remove plywood cover where present."
11. Sheet A202, detail references at 1H, head detail to read: "A3C/A301", jamb detail shall read "A3B/A301", sill detail shall read "A3A/A301."
12. Sheet A203, detail A2. Revise note at porte cochere to read: "Alternate #2."
13. Sheet A301, detail I8. Add note to read: "Lap weather barrier over upper leg of copper gutter," and add note to read "Use continuous anchor cleat for secure attachment at drip edge on fascia."

14. Sheet A301, detail A10. Add note to read: "Install copper flashing over wood drip edge extending a minimum of 6" vertically behind wood siding."
15. Add sketch "SK1.AD1 Copper Conductor Head."

### PART 3 - EXECUTION

3.1 NOT USED

END OF ADDENDUM NO. [1]



STUBBS MULDROW HERIN architects, inc.

## Meeting Minutes

proj: Whaley  
re: Pre-Bid  
to: File  
from: A. Rohaly  
date: June 26, 2012  
comm: 0933.02

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1. Present: See attached sign-in sheet for attendees.
2. Reviewed Instructions to Bidders
  - a. All plans, specifications and addenda are available for download through the USC website per the original advertisement.
    - i. It is the Contractor's responsibility to verify that printed documents match current documents as viewed upon download.
  - b. Bids are due at 2pm on July 11, 2012.  
Conference Room 53  
743 Greene Street  
Columbia, SC 29208
    - i. Bids must be stamped-in at the front desk and delivered to Conference Room 53 by 2pm on the conference room clock or they will be rejected.
    - ii. Any Contractor not hand delivering their bid shall notify USC (Juaquana Brookins) prior to bid day.
  - c. All addenda shall be issued by 2pm on July 06.
    - i. All questions must be submitted by 5pm on July 05. Anything after that point may not be considered.
    - ii. Questions shall be submitted to Adam Rohaly at SMHa.  
(843) 881.7642, a.rohaly@smha.com
  - d. Defined the base bid, per the specifications, as the base cost of the drawings and specifications plus the sum of all requested unit price items.
3. Discussed General Project Description and Scope
  - a. There was some discussion about assumption of some roofing materials containing asbestos. It was discussed that the roofing contractor shall include trained personnel to handle specific historic roof demolition and appropriate abatement.
  - b. It was emphasized that the requested unit process are separate from the scope of work shown on the drawings.
  - c. It was confirmed that there would be some storage available in the existing carriage house for disassembled components requiring replacement.

- d. It was discussed that university would be abating asbestos from the crawl space and attic of the house.
    - i. The resulting barrier at the crawl space is expected to be maintained and protected by the Contractor during work.
  - e. Any differences between field conditions and the Contract Documents shall be submitted by report and photograph to the Architect for consideration.
  - f. Per the specifications, any siding, trim or window component being replaced shall be kept in duplicate. One sample is for the Contractor in matching profiles and the other is for the Architect in verifying matching profiles.
  - g. Per the specifications, required qualifications outlined within 'Quality Assurance' shall be submitted within 48 hours of receipt of bids and shall be verified prior to award of bid.
  - h. Alternate #1 is full slate roof replacement as outlined in the drawings and specifications.
  - i. Alternate #2 is removal of porte cochere structures as outlined in the drawings and specifications. If this alternate is not accepted they will receive a level 1 paint removal as well as primer and finish coats.
  - j. Components that will be removed and disposed of do not require abatement rather proper disposal only.
4. Questions/Clarifications
- a. There was a request for an asphalt shingle specification as well as verification that shingle flashing is the same as slate flashing as shown on sheet A122. Any additional information will be included in addenda.
  - b. There was suggestion that a unit price be added for curved window units. Any changes or additions to the unit prices will be included in addenda.
  - c. There was a question about assumed wood repair scope beneath integral gutters. Any clarification or addition will be included in addenda.
  - d. There was a question regarding the Historic Treatment of Wood Windows specification requiring removing paint to bare wood. Any revision to the specifications will be included in the addenda.
  - e. Some Contractors expressed concern for the 120 day project time if Alternate #1 is accepted. Any changes to the project time will be included in addenda.
  - f. The question was asked if salvaged slates would be acceptable for additional required slates in Alternate #1. Any clarification will be included in addenda.
  - g. The question was asked if there was a lead barrier block specified with the paint. Primers and paints are as outlined in the specifications.
  - h. Clarification was requested on whether window notes requiring sash removal referenced one or both sashes. Any clarification or revision will be included in addenda.

*Please review the above minutes for (record for its') accuracy and completeness. If you find anything that needs to be corrected, added or deleted, please call me at (843) 881-7642, or e-mail me at a.rohaly@smha.com as soon as possible and I will issue a correction. Lack of notification will be interpreted as agreement with the information as presented.*

cc: file>0933.02>BA>Add1



University of South Carolina  
Columbia, South Carolina

Project Name & Number: Whaley House Renovation-Exterior Stabilization/H27-I909  
Pre-Bid, June 26, 2012 @ 10am

ATTENDEE'S NAME

Thomas Scruggs

Shannon Crouch

Courtney Gonzales

Lee Hammersla

COMPANY NAME & MAILING ADDRESS

MASHBURN CONSTRUCTION

1820 SUMTER ST.

COLUMBIA, SC 29201

PHONE# 803-400-1000

FAX# 803-400-1010

EMAIL [tscruggs@mashburnconstruction.com](mailto:tscruggs@mashburnconstruction.com)

LINDLER CONST. CO. INC.

P.O. BOX 5496

COLUMBIA, SOUTH CAROLINA 29250

PHONE# 803.743.2650

FAX# 803.779.3609

EMAIL [shancrouch@sc.rr.com](mailto:shancrouch@sc.rr.com)

ChemBion Environmental, LLC

1619 Remount Rd

N. Moss, SC 29106

PHONE# 843.414.2962

FAX# 843.414.2963

EMAIL [mgonzales@chembion.com](mailto:mgonzales@chembion.com)

Hammer Construction

785 Hampton Creek Way

Columbia, S.C. 29209

PHONE# 803-309-0864

FAX# 803-783-7035

EMAIL [Lee@HammerConstructioncompany.com](mailto:Lee@HammerConstructioncompany.com)

Make sure to include your company name (on this form) as registered with LLR.



University of South Carolina  
Columbia, South Carolina

Project Name & Number: Whaley House Renovation-Exterior Stabilization/H27-I909  
Pre-Bid, June 26, 2012 @ 10am

ATTENDEE'S NAME

Richard Huss

Richard Pittenger

Robin Waites

COMPANY NAME & MAILING ADDRESS

Huss Inc  
PO Box 12339  
Charleston SC 29422  
PHONE# 843-937-0023  
FAX# 843-937-0095  
EMAIL Richard.Huss@HussInc.com  
ARM ENVIRONMENTAL SCS  
1210 FIRST STREET SOUTH  
COLUMBIA SC 29209  
PHONE# 783-5314  
FAX# 783-2587  
EMAIL RPITTENBER@ARMENV.COM  
Historic Columbia Foundation  
1601 Richland St.  
Columbia, SC 29201  
PHONE# 803 252-7142 x14  
FAX# 803 929-7695  
EMAIL rwaites@historiccolumbia.org

PHONE#

FAX#

EMAIL

*Make sure to include your company name (on this form) as registered with LLR.*



University of South Carolina  
Columbia, South Carolina

Project Name & Number: Whaley House Renovation-Exterior Stabilization/H27-I909  
Pre-Bid, June 26, 2012 @ 10am

ATTENDEE'S NAME

COMPANY NAME & MAILING ADDRESS

JAMIE LOIGURE

MIDWEST MAINTENANCE

P.O. Box 1203

PIQUA OH 45356

PHONE# 937-773-9236

FAX# 937-773-8645

EMAIL JAMIE@MIDWESTMAINTENANCE.COM

GLYNN ELLER

FINE CONSULTANTS

3112 DEVINE ST.

COLUMBIA, SC. 29205

PHONE# (803) 254-4540

FAX#

EMAIL glynna@finecol.com

ADAM ROHALY

STUBBS MULBROW HERIN ARCHITECTS

PHONE# 843-881-7642

FAX#

EMAIL a.rohaly@smha.com

JEFF ABRAMS

743 GREENE

COLUMBIA

PHONE# 803-239-8074

FAX#

EMAIL JABRAMS@FMC-SC.EDU

*Make sure to include your company name (on this form) as registered with LLR.*



University of South Carolina  
Columbia, South Carolina

Project Name & Number: Whaley House Renovation-Exterior Stabilization/H27-I909  
Pre-Bid, June 26, 2012 @ 10am

ATTENDEE'S NAME

COMPANY NAME & MAILING ADDRESS

Bill Davis

Lindler Const Co. Inc  
531 S. Edisto Avenue  
Coln SC 29205  
PHONE# 803-232-9948  
FAX# 803-779-3609  
EMAIL W.DAVIS43@SC.RR.COM

JOHN WALTER

THE CENTURY SLATE CO.  
1310 E. CORNWALLIS RD.  
DURHAM, NC 27713  
PHONE# 919-544-8890  
FAX# 919-544-8891  
EMAIL JOHN@CENTURYSLATE.COM

R.K. Jenkins

Roofco  
Sumter SC  
P.O. Box 15813  
PHONE# 803-7758560  
FAX# 803-777-3297  
EMAIL Roofco@RR.COM

CHARLES STUART

Hood Construction  
1050 Stuart Rd. Coln SC 29201  
PHONE# 803-765-2940  
FAX# 803-771-0449  
EMAIL CHARLESS@HOODCONSTRUCTION.COM

Make sure to include your company name (on this form) as registered with LLR.



University of South Carolina  
Columbia, South Carolina

Project Name & Number: Whaley House Renovation-Exterior Stabilization/H27-I909  
Pre-Bid, June 26, 2012 @ 10am

ATTENDEE'S NAME

Aimee Rish

COMPANY NAME & MAILING ADDRESS

USC Procurement

PHONE#

FAX#

EMAIL

PHONE# 803-478-2950

FAX# 803-478-2359

EMAIL rwunneey@yahoo.com

FORT ROOFING & SHEET METAL WORKS, INC.  
P.O. Box 1407, Sumter, S.C. 29156

PHONE# 803-773-9391

FAX# 803-773-7111

EMAIL WTFORT@SC.TWCBC.COM

USC

PHONE#

FAX#

EMAIL

Robert Nunnery

Will Forst

Jacqueline BROOKINS

*Make sure to include your company name (on this form) as registered with LLR.*



# SE-330 – LUMP SUM BID BID FORM

2011 Edition  
Rev. 9/21/2011

*Bidders shall submit bids on only Bid Form SE-330.*

**BID SUBMITTED BY:** \_\_\_\_\_  
(Bidder's Name)

**BID SUBMITTED TO:** University of South Carolina  
(Owner's Name)

**FOR PROJECT:** **PROJECT NAME** Whaley House Renovation - Exterior Stabilization  
**PROJECT NUMBER** H27-1909

## **OFFER**

§ 1. In response to the Invitation for Construction Bids and in compliance with the Instructions to Bidders for the above-named Project, the undersigned Bidder proposes and agrees, if this Bid is accepted, to enter into a Contract with the Owner on the terms included in the Bidding Documents, and to perform all Work as specified or indicated in the Bidding Documents, for the prices and within the time frames indicated in this Bid and in accordance with the other terms and conditions of the Bidding Documents.

§ 2. Pursuant to Section 11-32-3030(1) of the SC Code of Laws, as amended, Bidder has submitted Bid Security as follows in the amount and form required by the Bidding Documents:

☐ Bid Bond with Power of Attorney    ☐ Electronic Bid Bond    ☐ Cashier's Check

(Bidder check one)

§ 3. Bidder acknowledges the receipt of the following Addenda to the Bidding Documents and has incorporated the effects of said Addenda into this Bid:

**ADDENDUM No:** \_\_\_\_\_

§ 4. Bidder accepts all terms and conditions of the Invitation for Bids, including, without limitation, those dealing with the disposition of Bid Security. Bidder agrees that this Bid, including all Bid Alternates, if any, may not be revoked or withdrawn after the opening of bids, and shall remain open for acceptance for a period of 60 Days following the Bid Date, or for such longer period of time that Bidder may agree to in writing upon request of the Owner.

§ 5. Bidder herewith offers to provide all labor, materials, equipment, tools of trades and labor, accessories, appliances, warranties and guarantees, and to pay all royalties, fees, permits, licenses and applicable taxes necessary to complete the following items of construction work:

**§ 6.1 BASE BID WORK** *(as indicated in the Bidding Documents and generally described as follows):* Stabilization of the exterior of the historic Whaley House for the University of South Carolina. Scope includes removal of hazardous materials, replacement of damaged wood components (windows, siding, trim, structure); and roof replacement.

\_\_\_\_\_, which sum is hereafter called the Base Bid.  
(Bidder - insert Base Bid Amount on line above)

# SE-330 – LUMP SUM BID BID FORM

2011 Edition  
Rev. 9/21/2011

§ 6.2 BID ALTERNATES - as indicated in the Bidding Documents and generally described as follows:

**ALTERNATE # 1** (Brief Description): Slate Re-roofing.

☐ **ADD TO** or ☐ **DEDUCT FROM BASE BID:** \_\_\_\_\_

*(Bidder to Mark appropriate box to clearly indicate the price adjustment offered for each alternate)*

**ALTERNATE # 2** (Brief Description): Demolish Porte-cochere Structures.

☐ **ADD TO** or ☐ **DEDUCT FROM BASE BID:** \_\_\_\_\_

*(Bidder to Mark appropriate box to clearly indicate the price adjustment offered for each alternate)*

**ALTERNATE # 3** (Brief Description): \_\_\_\_\_

☐ **ADD TO** or ☐ **DEDUCT FROM BASE BID:** \_\_\_\_\_

*(Bidder to Mark appropriate box to clearly indicate the price adjustment offered for each alternate)*

# SE-330 – LUMP SUM BID BID FORM

§ 7. LISTING OF PROPOSED SUBCONTRACTORS PURSUANT TO SECTION 3020(b)(i), CHAPTER 35, TITLE 11 OF THE SOUTH CAROLINA CODE OF LAWS, AS AMENDED – (See Instructions on the following page BF-2A)

Bidder shall use the below-listed Subcontractors in the performance of the Subcontractor Specialty work listed:

SUBCONTRACTOR SPECIALTY By License Classification and/or Subclassification (Completed by Owner)	SUBCONTRACTOR'S PRIME CONTRACTOR'S NAME (Must be completed by Bidder) BASE BID	SUBCONTRACTOR'S PRIME CONTRACTOR'S SC LICENSE NUMBER
General Roofing		
<b>ALTERNATE 1</b>		
General Roofing		
<b>ALTERNATE 2</b>		
<b>ALTERNATE 3</b>		

If a Bid Alternate is accepted, Subcontractors listed for the Bid Alternate shall be used for the work of both the Alternate and the Base Bid work.

## **INSTRUCTIONS FOR SUBCONTRACTOR LISTING**

- 1.** Section 7 of the Bid Form sets forth a list of subcontractor specialties for which bidder is required to identify by name the subcontractor(s) Bidder will use to perform the work of each listed specialty. Bidder must identify only the subcontractor(s) who will perform the work and no others.
- 2.** For purposes of subcontractor listing, a Subcontractor is an entity who will perform work or render service to the prime contractor to or about the construction site. Material suppliers, manufacturers, and fabricators that will not perform physical work at the site of the project but will only supply materials or equipment to the bidder or proposed subcontractor(s) are not subcontractors and Bidder should not insert their names in the spaces provided on the bid form. Likewise, Bidder should not insert the names of sub-subcontractors in the spaces provided on the bid form but only the names of those entities with which bidder will contract directly.
- 3.** Bidder must only insert the names of subcontractors who are qualified to perform the work of the listed specialties as specified in the Bidding Documents and South Carolina Licensing Laws.
- 4.** If under the terms of the Bidding Documents, Bidder is qualified to perform the work of a specialty listed and Bidder does not intend to subcontract such work but to use Bidder's own employees to perform such work, the Bidder must insert its own name in the space provided for that specialty.
- 5.** If Bidder intends to use multiple subcontractors to perform the work of a single specialty listing, Bidder must insert the name of each subcontractor Bidder will use, preferably separating the name of each by the word **"and"**. If Bidder intends to use both his own employees to perform a part of the work of a single specialty listing and to use one or more subcontractors to perform the remaining work for that specialty listing, bidder must insert his own name and the name of each subcontractor, preferably separating the name of each with the word **"and"**.
- 6.** Bidder may not list subcontractors in the alternative nor in a form that may be reasonably construed at the time of bid opening as a listing in the alternative. A listing that requires subsequent explanation to determine whether or not it is a listing in the alternative is non-responsive. If bidder intends to use multiple entities to perform the work for a single specialty listing, bidder must clearly set forth on the bid form such intent. Bidder may accomplish this by simply inserting the word **"and"** between the name of each entity listed for that specialty. Owner will reject as non-responsive a listing that contains the names of multiple subcontractors separated by a blank space, the word **"or"**, a virgule (that is a /), or any separator that the Owner may reasonably interpret as a listing in the alternative.
- 7.** If Bidder is awarded the contract, bidder must, except with the approval of the owner for good cause shown, use the listed entities to perform the work for which they are listed.
- 8.** If bidder is awarded the contract, bidder will not be allowed to substitute another entity as subcontractor in place of a subcontractor listed in Section 7 of the Bid except for one or more of the reasons allowed by the SC Code of Laws.
- 9.** Bidder's failure to insert a name for each listed specialty subcontractor will render the Bid non-responsive.

## **SE-330 – LUMP SUM BID BID FORM**

**§ 8. LIST OF MANUFACTURERS, MATERIAL SUPPLIERS, AND SUBCONTRACTORS OTHER THAN SUBCONTRACTORS LISTED IN SECTION 7 ABOVE (FOR INFORMATION ONLY):** Pursuant to instructions in the Invitation for Bids, if any, Bidder will provide to Owner upon the Owner's request and within 24 hours of such request, a listing of manufacturers, material suppliers, and subcontractors, other than those listed in Section 7 above, that Bidder intends to use on the project. Bidder acknowledges and agrees that this list is provided for purposes of determining responsibility and not pursuant to the subcontractor listing requirements of SC Code Ann § 11-35-3020(b)(i).

### **§ 9. TIME OF CONTRACT PERFORMANCE AND LIQUIDATED DAMAGES**

a. **CONTRACT TIME:** Bidder agrees that the Date of Commencement of the Work shall be established in a Notice to Proceed to be issued by the Owner. Bidder agrees to substantially complete the Work within **120** calendar days from the Date of Commencement, subject to adjustments as provided in the Contract Documents.

b. **LIQUIDATED DAMAGES:** Bidder further agrees that from the compensation to be paid, the Owner shall retain as Liquidated Damages the sum of \$\_\_\_\_\_ for each calendar day the actual construction time required to achieve Substantial Completion exceeds the specified or adjusted time for Substantial Completion as provided in the Contract Documents. This sum is intended by the parties as the predetermined measure of compensation for actual damages, not as a penalty for nonperformance.

### **§ 10. AGREEMENTS**

- a. Bidder agrees that this bid is subject to the requirements of the law of the State of South Carolina.
- b. Bidder agrees that at any time prior to the issuance of the Notice to Proceed for this Project, this Project may be canceled for the convenience of, and without cost to, the State.
- c. Bidder agrees that neither the State of South Carolina nor any of its agencies, employees or agents shall be responsible for any bid preparation costs, or any costs or charges of any type, should all bids be rejected or the Project canceled for any reason prior to the issuance of the Notice to Proceed.

### **§ 11. ELECTRONIC BID BOND**

By signing below, the Principal is affirming that the identified electronic bid bond has been executed and that the Principal and Surety are firmly bound unto the State of South Carolina under the terms and conditions of the AIA Document A310, Bid Bond, included in the Bidding Documents.

**Electronic Bid Bond Number:** \_\_\_\_\_

**Signature and Title:** \_\_\_\_\_

**SE-330 – LUMP SUM BID  
BID FORM**

**2011 Edition**  
Rev. 9/21/2011

**BIDDER'S TAXPAYER IDENTIFICATION**

FEDERAL EMPLOYER'S IDENTIFICATION NUMBER: \_\_\_\_\_

**OR**

SOCIAL SECURITY NUMBER: \_\_\_\_\_

**CONTRACTOR'S CLASSIFICATIONS AND SUBCLASSIFICATIONS WITH LIMITATIONS**

*Classification(s) & Limits:* \_\_\_\_\_

*Subclassification(s) & Limits:* \_\_\_\_\_

*SC Contractor's License Number(s):* \_\_\_\_\_

BY SIGNING THIS BID, THE PERSON SIGNING REAFFIRMS ALL REPRESENTATIONS AND CERTIFICATIONS MADE BY BOTH THE PERSON SIGNING AND THE BIDDER, INCLUDING WITHOUT LIMITATION, THOSE APPEARING IN ARTICLE 2 OF THE INSTRUCTIONS TO BIDDER. THE INVITATION FOR BIDS, AS DEFINED IN THE INSTRUCTIONS TO BIDDERS, IS EXPRESSLY INCORPORATE BY REFERENCE.

**SIGNATURE**

**BIDDER'S LEGAL NAME:** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_  
\_\_\_\_\_

**BY:** \_\_\_\_\_  
(Signature)

**DATE:** \_\_\_\_\_

**TITLE:** \_\_\_\_\_

**TELEPHONE:** \_\_\_\_\_

**EMAIL:** \_\_\_\_\_

## **BASE BID AGREEMENT**

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1. Portion of Base Bid as defined in Technical Specifications and Drawings:

LS \$ \_\_\_\_\_

2. Portion of Base Bid as defined in Unit Prices (Page BF-1C) and mentioned in Scope of Work:

LS \$ \_\_\_\_\_

3. Base Bid (Total of Lines 1 and 2 above):

LS \$ \_\_\_\_\_

which sum is hereafter called the BASE BID and is inserted in paragraph 6.1, page BF-1.

## UNIT PRICES TO BE INCLUDED IN BASE BID

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It is anticipated the following work items and amounts may be required on this project. These items and amounts are not included in the Technical Specifications and Drawings documents; they are in addition to work indicated in the documents. These work items shall conform to referenced standards in the Technical Specifications. If the required quantities of the items listed below are increased or decreased by Change Order, the adjustment unit prices set forth below shall apply to such increased or decreased quantities.

Related Sections: "012200 - UNIT PRICES"

- A. Unit Price No. 1: Reinforcement of existing first floor wood joist  
10 LF ea. x qty. of 5 @ \$\_\_\_\_\_/LF = \$\_\_\_\_\_(LS)
- B. Unit Price No. 2 - Removal and replacement of existing damaged roof sheathing.  
200 SF @ \$\_\_\_\_\_/SF = \$\_\_\_\_\_(LS)
- C. Unit Price No. 3 - Removal and replacement of damaged first floor perimeter sill beams.  
10 LF @ \$\_\_\_\_\_/LF = \$\_\_\_\_\_(LS)
- D. Unit Price No. 4 - Removal and replacement of damaged interior first floor girder beams.  
10 LF @ \$\_\_\_\_\_/LF = \$\_\_\_\_\_(LS)
- E. Unit Price No. 5 - Removal and replacement of damaged first floor perimeter wall studs and sheathing:  
50 SF @ \$\_\_\_\_\_/SF = \$\_\_\_\_\_(LS)
- F. Unit Price No. 6 - Exterior Carpentry - Typical Fascia Assembly (at rake, internal or external gutter), detail L9/A301:  
50 LF @ \$\_\_\_\_\_/LF = \$\_\_\_\_\_(LS)
- G. Unit Price No. 7 - Exterior Carpentry - Typical Fascia Assembly at Porch Roof with Internal Gutter, detail I8/A301:  
50 LF @ \$\_\_\_\_\_/LF = \$\_\_\_\_\_(LS)
- H. Unit Price No. 8 - Exterior Carpentry - Sill Band Assembly No. 1 or No. 2, details Sheet A301:  
25 LF @ \$\_\_\_\_\_/LF = \$\_\_\_\_\_(LS)

- I. Unit Price No. 9 - Exterior Carpentry - Replace Wood Siding:  
100 SF @ \$ \_\_\_\_\_/SF = \$ \_\_\_\_\_ (LS)
- J. Unit Price No. 10 - Exterior Carpentry - Replace Wood Shingle:  
100 SF @ \$ \_\_\_\_\_/SF = \$ \_\_\_\_\_ (LS)
- K. Unit Price No. 11 - Historic Window Treatment - Replace Window Unit:  
1 EA @ \$ \_\_\_\_\_/EA = \$ \_\_\_\_\_ (LS)
- L. Unit Price No. 12 - Historic Window Treatment - Replace Window Sash:  
5 EA @ \$ \_\_\_\_\_/EA = \$ \_\_\_\_\_ (LS)
- M. Unit Price No. 13 - Historic Window Treatment - Replace Window Sill:  
5 EA @ \$ \_\_\_\_\_/EA = \$ \_\_\_\_\_ (LS)
- N. Unit Price No. 14 - Historic Window Treatment - Replace Window Jamb and Head Trim:  
5 EA @ \$ \_\_\_\_\_/EA = \$ \_\_\_\_\_ (LS)
- O. Unit Price No. 15 - Historic Window Treatment - Replace Curved Window Unit:  
1 EA @ \$ \_\_\_\_\_/EA = \$ \_\_\_\_\_ (LS)

Addendum#1

Total Unit Prices to be included in BASE BID

(Enter "Total Unit Prices" amount on line 2, Page BF-1B) = \$ \_\_\_\_\_ (LS)



## SECTION 07311 - ASPHALT SHINGLES

### PART 1 - GENERAL

#### 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.

#### 1.2 SUMMARY

- A. This Section includes the following:
  - 1. Asphalt shingles.
  - 2. Self-adhering sheet underlayment.

#### 1.3 DEFINITIONS

- A. Roofing Terminology: Refer to ASTM D 1079 and glossary of NRCA's "The NRCA Roofing and Waterproofing Manual" for definitions of terms related to roofing work in this Section.

#### 1.4 SUBMITTALS

- A. Product Data: For each type of product indicated.
- B. Samples for Initial Selection: For each type of asphalt shingle, [ridge and hip cap shingles] [ridge vent] [and] indicated.
  - 1. Include similar Samples of trim and accessories involving color selection.
- C. Samples for Verification: For the following products, of sizes indicated, to verify color selected.
  - 1. Asphalt Shingle: Full-size asphalt shingle strip.
  - 2. Ridge and Hip Cap Shingles: Full-size ridge and hip cap asphalt shingle.
  - 3. Ridge Vent: 12-inch- long Sample.
  - 4. Self-Adhering Underlayment: 12 inches square.
- D. Qualification Data: For Installer[, including certificate signed by asphalt shingle manufacturer stating that Installer is approved, authorized, or licensed to install roofing system indicated].
- E. Product Test Reports: Based on evaluation of comprehensive tests performed by a qualified testing agency or by manufacturer and witnessed by a qualified testing agency, for asphalt shingles.
- F. Research/Evaluation Reports: For asphalt shingles.
- G. Maintenance Data: For asphalt shingles to include in maintenance manuals.
- H. Warranties: Special warranties specified in this Section.

## 1.5 QUALITY ASSURANCE

- A. Installer Qualifications: A firm or individual that is approved, authorized, or licensed by asphalt shingle roofing system manufacturer to install roofing system indicated.
- B. Source Limitations: Obtain ridge and hip cap shingles through one source from a single asphalt shingle manufacturer.
- C. Fire-Test-Response Characteristics: Provide asphalt shingle and related roofing materials with the fire-test-response characteristics indicated, as determined by testing identical products per test method below by UL or another testing and inspecting agency acceptable to authorities having jurisdiction. Identify materials with appropriate markings of applicable testing and inspecting agency.
  - 1. Exterior Fire-Test Exposure: Class A; ASTM E 108 or UL 790, for application and roof slopes indicated.
- D. Preinstallation Conference: Conduct conference at Project site to comply with requirements in Division 1 Section "Project Management and Coordination."

## 1.6 DELIVERY, STORAGE, AND HANDLING

- A. Store roofing materials in a dry, well-ventilated, weathertight location according to asphalt shingle manufacturer's written instructions. Store underlayment rolls on end on pallets or other raised surfaces. Do not double-stack rolls.
  - 1. Handle, store, and place roofing materials in a manner to avoid significant or permanent damage to roof deck or structural supporting members.
- B. Protect unused underlayment from weather, sunlight, and moisture when left overnight or when roofing work is not in progress.

## 1.7 PROJECT CONDITIONS

- A. Weather Limitations: Proceed with installation only when existing and forecasted weather conditions permit asphalt shingle roofing to be performed according to manufacturer's written instructions and warranty requirements.
  - 1. Install self-adhering sheet underlayment within the range of ambient and substrate temperatures recommended by manufacturer.

## 1.8 WARRANTY

- A. Special Warranty: Manufacturer's standard form in which manufacturer agrees to repair or replace asphalt shingles that fail in materials or workmanship within specified warranty period. Materials failures include manufacturing defects and failure of asphalt shingles to self-seal after a reasonable time.
  - 1. Material Warranty Period: 50 years from date of Substantial Completion, prorated, with first 5 years nonprorated.
- B. Special Project Warranty: Roofing Installer's warranty, on warranty form at end of this Section, signed by roofing Installer, covering Work of this Section, in which roofing Installer agrees to repair or replace

components of asphalt shingle roofing that fail in materials or workmanship within the following warranty period:

1. Warranty Period: Two years from date of Substantial Completion.

## PART 2 - PRODUCTS

### 2.1 GLASS-FIBER-REINFORCED ASPHALT SHINGLES

- A. Laminated-Strip Asphalt Shingles: ASTM D 3462, laminated, multi-ply overlay construction, glass-fiber reinforced, mineral-granule surfaced, and self-sealing.
  1. Products:
    - a. Certaineed, XT30 (Basis of Design)
    - b. GAF Materials Corporation.
    - c. TAMKO Building Products
  2. Strip Size: Manufacturer's standard.
  3. Algae Resistance: Granules treated to resist algae discoloration.
  4. Color and Blends: As selected by Architect from manufacturer's full range.
- B. Hip and Ridge Shingles: Manufacturer's standard units to match asphalt shingles.
- C. Starter Strip (for application at eave and at rake edge): Manufacturer's standard.

### 2.2 UNDERLAYMENT MATERIALS

- A. Self-Adhering Sheet Underlayment, High Temperature: Minimum of 30- to 40-mil- thick, slip-resisting, polyethylene-film-reinforced top surface laminated to layer of butyl or SBS-modified asphalt adhesive, with release paper backing; cold applied. Provide primer for adjoining concrete or masonry surfaces to receive underlayment.
  1. Thermal Stability: Stable after testing at 240 deg F; ASTM D 1970.
  2. Low-Temperature Flexibility: Passes after testing at minus 20 deg F; ASTM D 1970.
  3. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
    - a. [Carlisle Coatings & Waterproofing, Inc.](#)
    - b. [Grace, W. R. & Co. - Conn.](#)
    - c. [Henry Company.](#)

### 2.3 ACCESSORIES

- A. Asphalt Roofing Cement: ASTM D 4586, Type II, asbestos free.
- B. Roofing Nails: ASTM F 1667; aluminum, stainless-steel, copper, or hot-dip galvanized steel wire shingle nails, minimum 0.120-inch- diameter, barbed shank, sharp-pointed, with a minimum 3/8-inch- diameter flat head and of sufficient length to penetrate 3/4 inch into solid wood decking or extend at least 1/8 inch through OSB or plywood sheathing.

1. Where nails are in contact with metal flashing, use nails made from same metal as flashing.

## 2.4 METAL FLASHING AND TRIM

- A. Sheet Metal Flashing and Trim: Comply with requirements in Division 7 Section "Sheet Metal Flashing and Trim."
- B. Fabricate sheet metal flashing and trim to comply with recommendations in SMACNA's "Architectural Sheet Metal Manual" that apply to design, dimensions, metal, and other characteristics of item.

## PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Examine substrates, areas, and conditions, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance of work.
  1. Examine roof sheathing to verify that sheathing joints are supported by framing and blocking or metal clips and that installation is within flatness tolerances.
  2. Verify that substrate is sound, dry, smooth, clean, sloped for drainage, and completely anchored; and that provision has been made for flashings and penetrations through asphalt shingles.
  3. For the record, prepare written report, endorsed by Installer, listing conditions detrimental to performance of work.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

### 3.2 UNDERLAYMENT INSTALLATION

- A. Self-Adhering Sheet Underlayment: Install self-adhering sheet underlayment, wrinkle free, over entire roof deck. Comply with low-temperature installation restrictions of underlayment manufacturer if applicable. Lap sheets in direction to shed water. Lap sides not less than 3-1/2 inches. Lap ends not less than 6 inches staggered 24 inches between courses. Roll laps with roller. Cover underlayment within 30 days.

### 3.3 METAL FLASHING INSTALLATION

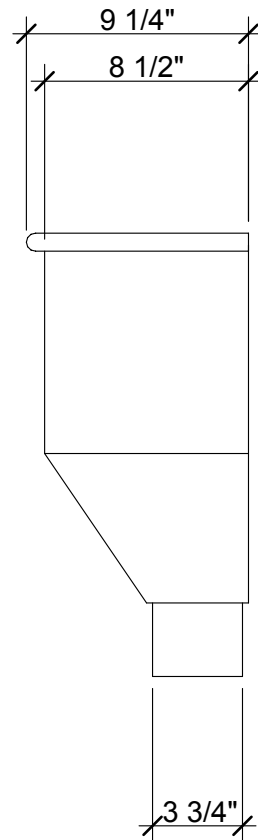
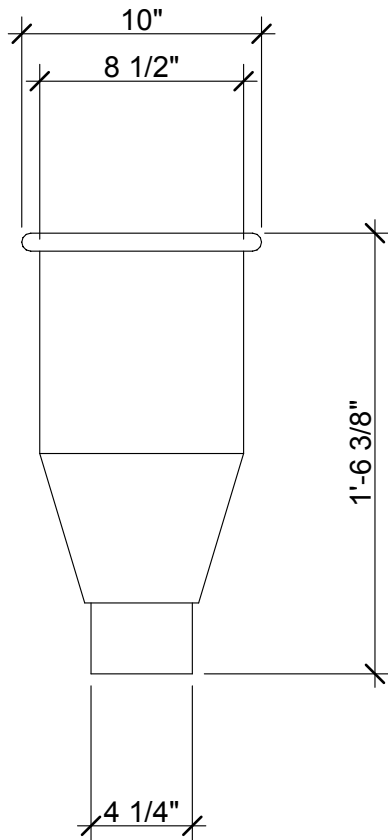
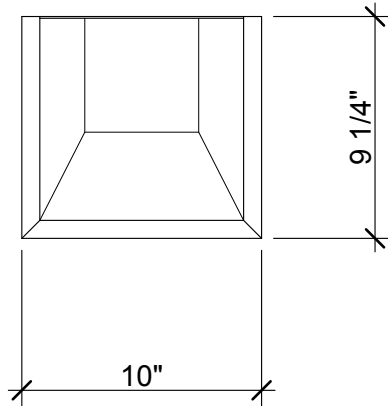
- A. General: Install metal flashings and other sheet metal to comply with requirements in Division 7 Section "Sheet Metal Flashing and Trim."
  1. Install metal flashings according to recommendations in ARMA's "Residential Asphalt Roofing Manual" and asphalt shingle recommendations in NRCA's "The NRCA Roofing and Waterproofing Manual."
- B. Place metal drip edge tight with fascia boards at all rake and eave edges and extend 3 inches back from roof edge bend downward over the fascia boards. Weather lap joints 2 inches. Fasten in place with nails spaced 8 to 10 inches apart.
- C. At eaves, place drip edge directly onto deck below underlayment. At rakes, place drip edge over underlayment.

### 3.4 ASPHALT SHINGLE INSTALLATION

- A. Install asphalt shingles according to manufacturer's written instructions, recommendations in ARMA's "Residential Asphalt Roofing Manual," and asphalt shingle recommendations in NRCA's "The NRCA Roofing and Waterproofing Manual."
- B. Install starter strip along lowest roof edge, consisting of an asphalt shingle strip at least 7 inches wide with self-sealing strip face up at roof edge.
  - 1. Extend asphalt shingles 1/2 inch over fascia at eaves and rakes.
  - 2. Install starter strip along rake edge.
- C. Install first and remaining courses of asphalt shingles stair-stepping diagonally across roof deck with manufacturer's recommended offset pattern at succeeding courses, maintaining uniform exposure.
- D. Fasten asphalt shingle strips with a minimum of six roofing nails located according to manufacturer's written instructions for applicable wind uplift requirements.
  - 1. Where roof slope is less than 4:12, seal asphalt shingles with asphalt roofing cement spots.
  - 2. When ambient temperature during installation is below 50 deg F , seal asphalt shingles with asphalt roofing cement spots.
- E. Closed-Cut Valleys: Extend asphalt shingle strips from one side of valley 12 inches beyond center of valley. Use one-piece shingle strips without joints in the valley. Fasten with extra nail in upper end of shingle. Install asphalt shingle courses from other side of valley and cut back to a straight line 2 inches short of valley centerline. Trim upper concealed corners of cut-back shingle strips.
  - 1. Do not nail asphalt shingles within 6 inches of valley center.
  - 2. Set trimmed, concealed-corner asphalt shingles in a 3-inch- wide bed of asphalt roofing cement.
- F. Ridge and Hip Cap Shingles: Maintain same exposure of cap shingles as roofing shingle exposure. Lap cap shingles at ridges to shed water away from direction of prevailing winds. Fasten with roofing nails of sufficient length to penetrate sheathing.
  - 1. Fasten ridge cap asphalt shingles to cover ridge vent without obstructing airflow.

END OF SECTION 07311

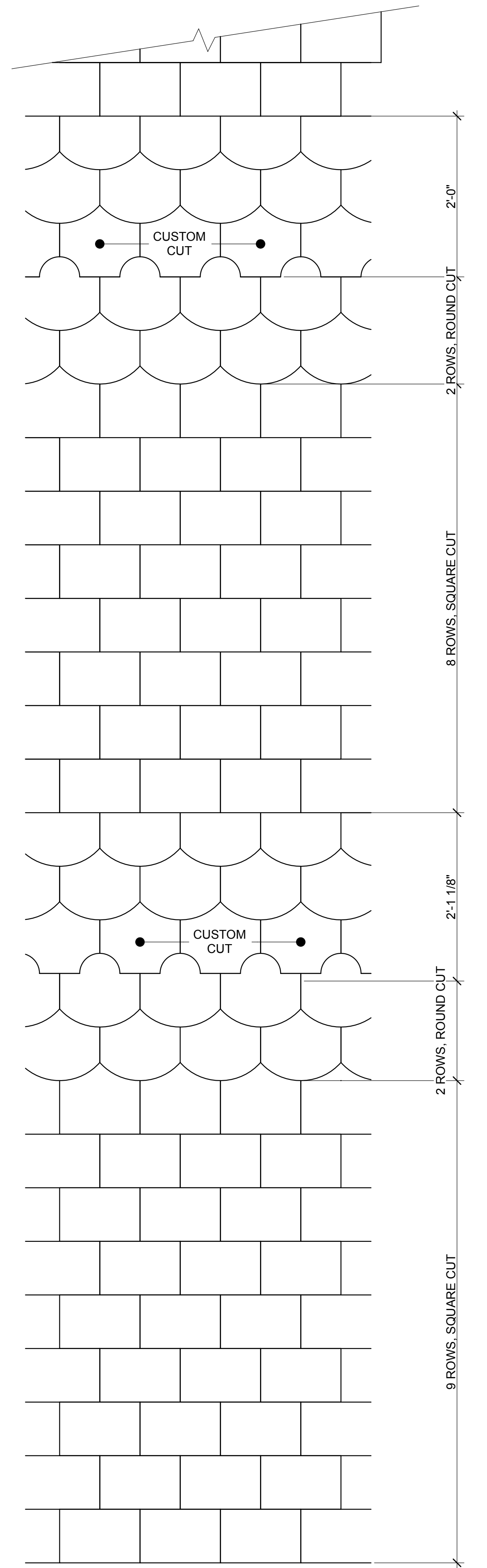




## COPPER CONDUCTOR HEAD







**A1 SLATE ROOF PATTERN DIAGRAM**  
NOT TO SCALE



NO. 2. REMOVAL OF EXISTING PORTE COCHERE AT EAST ELEVATION AND REMOVAL OF EXISTING DOOR COVERING, STAIR, AND DOORS AT SOUTHEAST CORNER. AT PORTE COCHERE ALTERNATE SHALL INCLUDE DEMOLITION INCLUDING SUB-GRADE MASONRY AND FOUNDATIONS, PATCHING OF SIDING, AND REWORK OF ROOF TO CREATE FINISHED EAVE CONDITION AT ROOF COVERING STAIR (SEE DETAIL A3/A122). AT DOOR COVERING, ALTERNATE SHALL INCLUDE INFILL OF VOIDED EXTENDED WALL AND REWORK OF ROOF TO CREATE FINISHED EAVE CONDITION AT ROOF COVERING AND REMOVAL OF ALL RELATED CONSTRUCTION INCLUDING SUB-GRADE MASONRY AND FOUNDATIONS.

## ROOF PLAN